

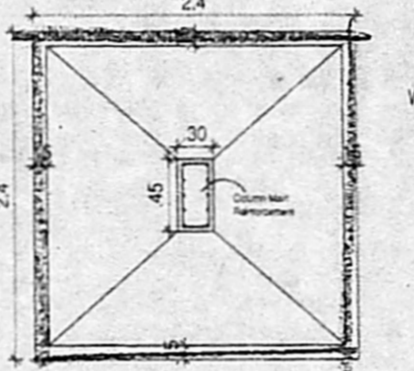
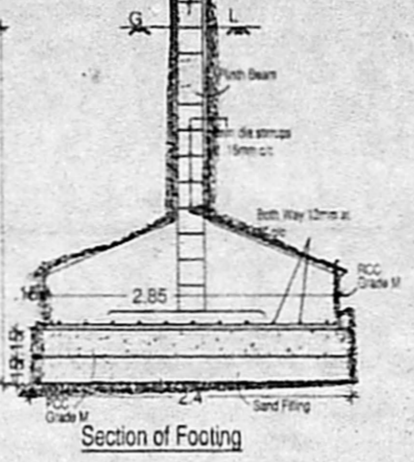
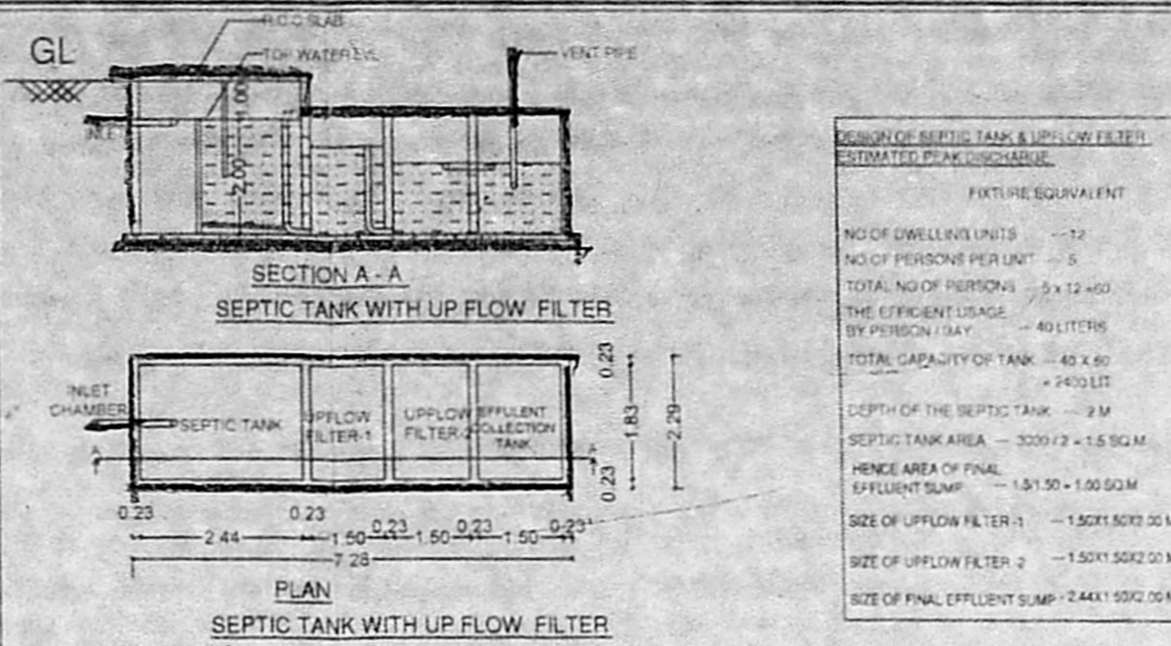
EAST SIDE ELEVATION

Planning Permission No. B/NHRB/152/2020
APPROVED
 Subject to conditions mentioned in this office
 Letter No. B/NHRB/5(B2)/142/2020 dated 15.06.2020
 Senior Planner
 Non High Rise Buildings
Chennai Metropolitan Development Authority
 Chennai-600 008.
 This approval is valid only after Building Form is issued by the concerned Local Body.

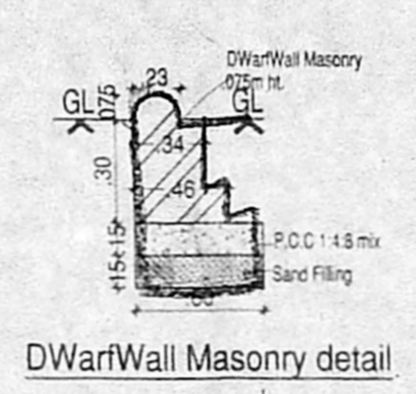
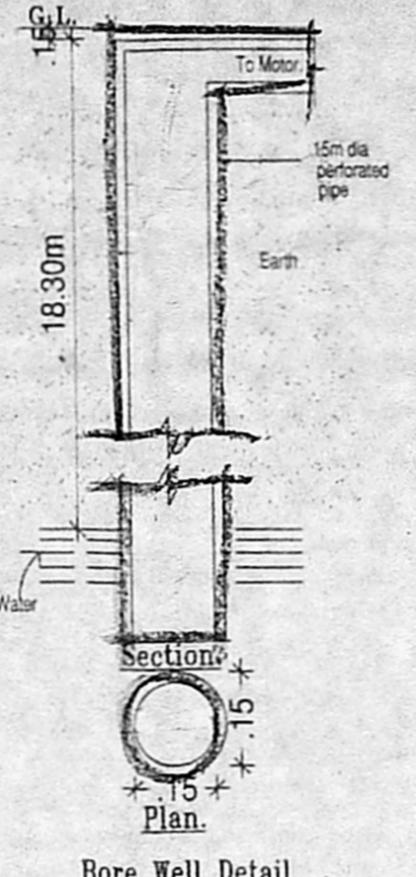
This Planning Permission as per the delegated powers given by Member Secretary, CMDA in Office Order No. 7/2019 dated 12.03.2019.

SECTION "AA"

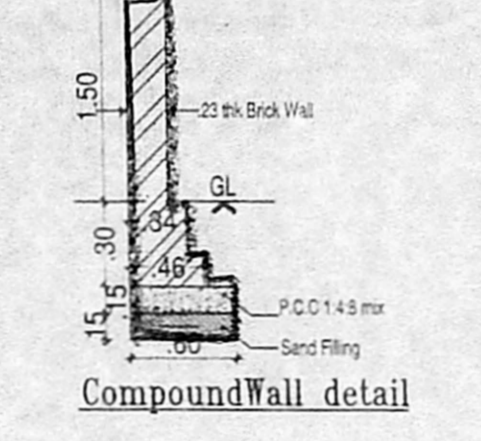
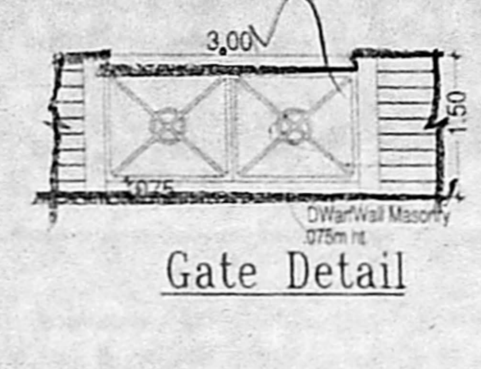
This Planning Permission issued under New Rule INCOR, 2019 is subject to final outcome of the W.P.(MD) No.8948 of 2019 and W.P.(MD) Nos. 4912 & 6913 of 2019.



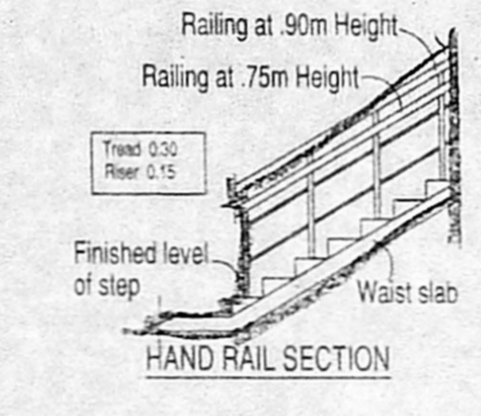
Column Foundation detail
 Plan of Footing



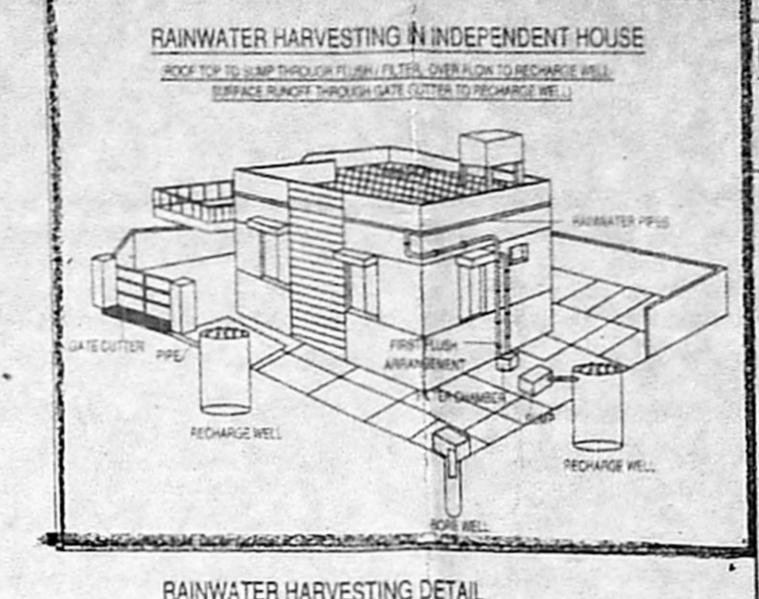
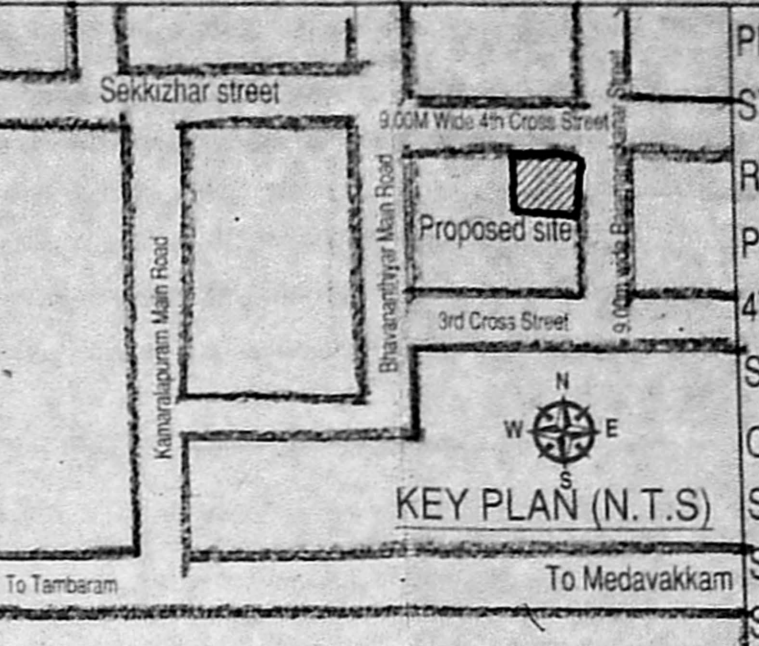
Dwarf Wall Masonry detail



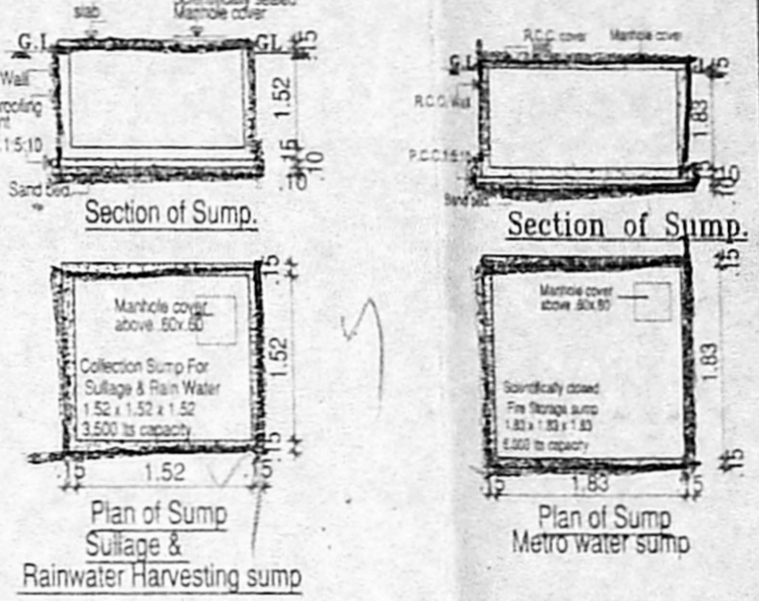
Compound Wall detail



HAND RAIL SECTION



RAINWATER HARVESTING DETAIL



Section of Sump
 Plan of Sump
 Rainwater Harvesting sump

PLAN SHOWING THE PROPOSED CONSTRUCTION OF STILT + 3 FLOORS WITH 12 DWELLING UNITS RESIDENTIAL BUILDING AVAILING PREMIUM PSI AT PLOT NO:- 8 & 9, RAJAMANICKANAR STREET & 4TH CROSS STREET, THANGAMMAL AVENUE, SEMBAKKAM, CHENNAI. COMPRISED IN OLD S.NO-106/1 (AS PER DOCUMENT V.NR.B/5(B2)/142/2020), S.NO-106/1A2 AND 106/1A3 (AS PER PATTI).

SEMPAKKAM VILLAGE WITHIN THE LIMIT OF SEMBAKKAM MUNICIPALITY. 10/6/2020
 TAMBARAM TALUK, KANCHEEPURAM DISTRICT.
 LAYOUT APPROVED 10/6/2020
 CMDA / PPD / LO NO: 52 / 97
 DATE 25.11.1997

Specification:
 Foundation : RCC Column footing grade of Concrete M20
 R.C.C.Work : For Lintel Beams, sunshade, Roof etc., with required thickness cement concrete used M-25 grade
 Super Structure : B.W in C.M 1:5
 Flooring : Vitrified Tiles
 Joinery : Best Indian Country Wood
 Finishes : Exterior & interior painted with cement paint.
 Weathering course : Brick jolly lime conc. below the weathering tiles

Schedule of Joineries.

MD	1.07 X 2.13 Sliding Door	KW3	0.91 X 1.07 Kitchen window
D3	0.91 X 2.13 Panellled Door	KW4	1.22 X 1.07 Kitchen window
D26	0.76 X 2.13 Panellled Door	V2	0.61 X 0.61 Ventilator
W6	1.83 X 1.37 window		
W5	1.52 X 1.37 window		
W4	1.22 X 1.37 window		
W3	0.91 X 1.37 window		
FW5	1.52 X 1.98 French window		
FW3	0.91 X 1.98 French window		
FW26	0.76 X 1.98 French window		

AREA STATEMENT

PLOT AREA AS PER DOCUMENT	481.23 Sq.m.	
PLOT AREA AS PER PATTI	482.00 Sq.m.	
FLOOR	F.S.I	F.S.I Achieved
STILT FLOOR	28.78	Car Parking Provided - 10 Nos
FIRST FLOOR	319.80	T.W Parking Provided - 11 Nos
SECOND FLOOR	319.80	
THIRD FLOOR	319.80	
TOTAL	988.18	

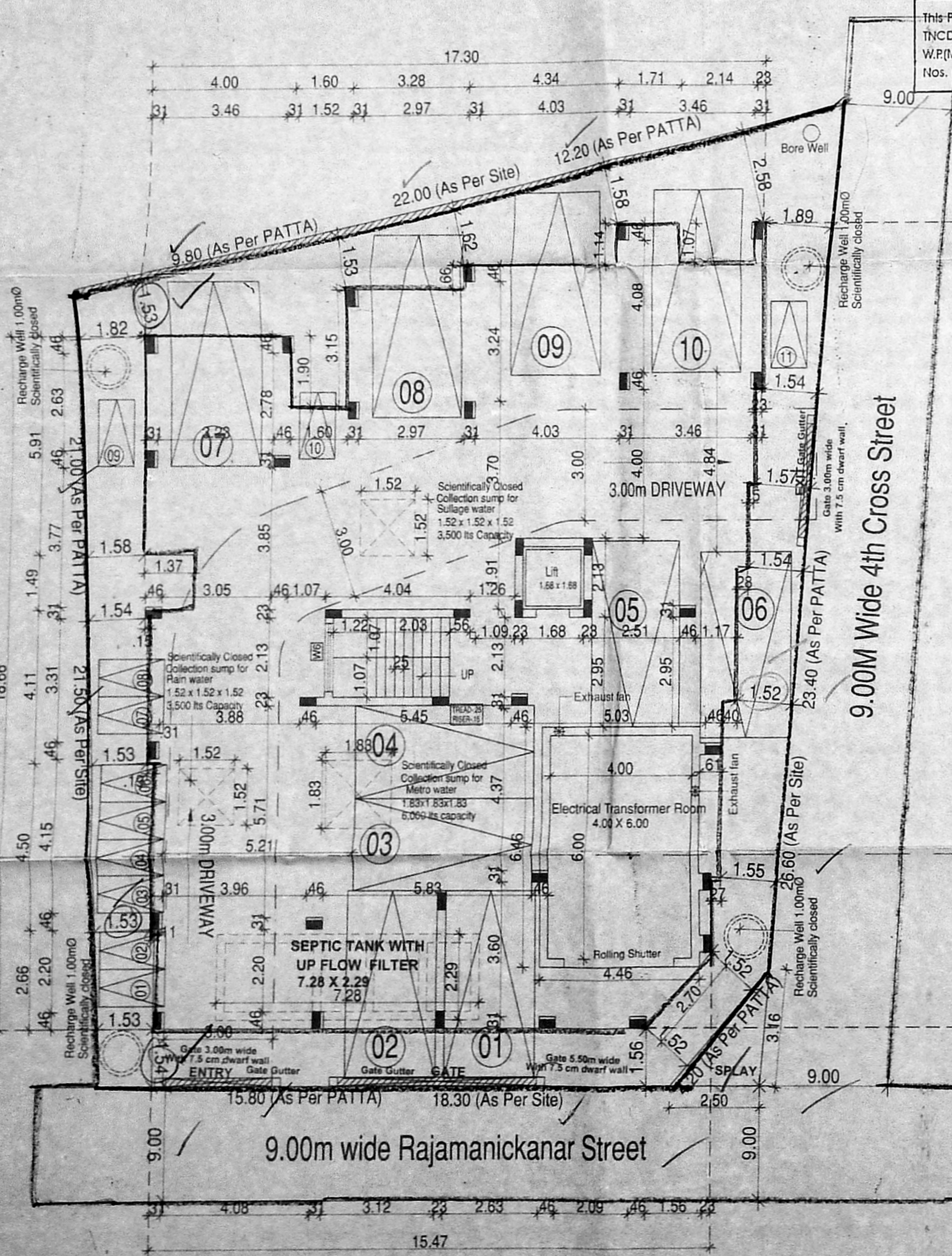
ALL DIMENSIONS ARE IN METRES
 SCALE 1: 100
 NORTH POINT
 W
 S
 N
 E

LEGEND:
 PROPOSED SHOWN IN [Symbol]
 BOUNDARY SHOWN IN [Symbol]
 ROAD SHOWN IN [Symbol]

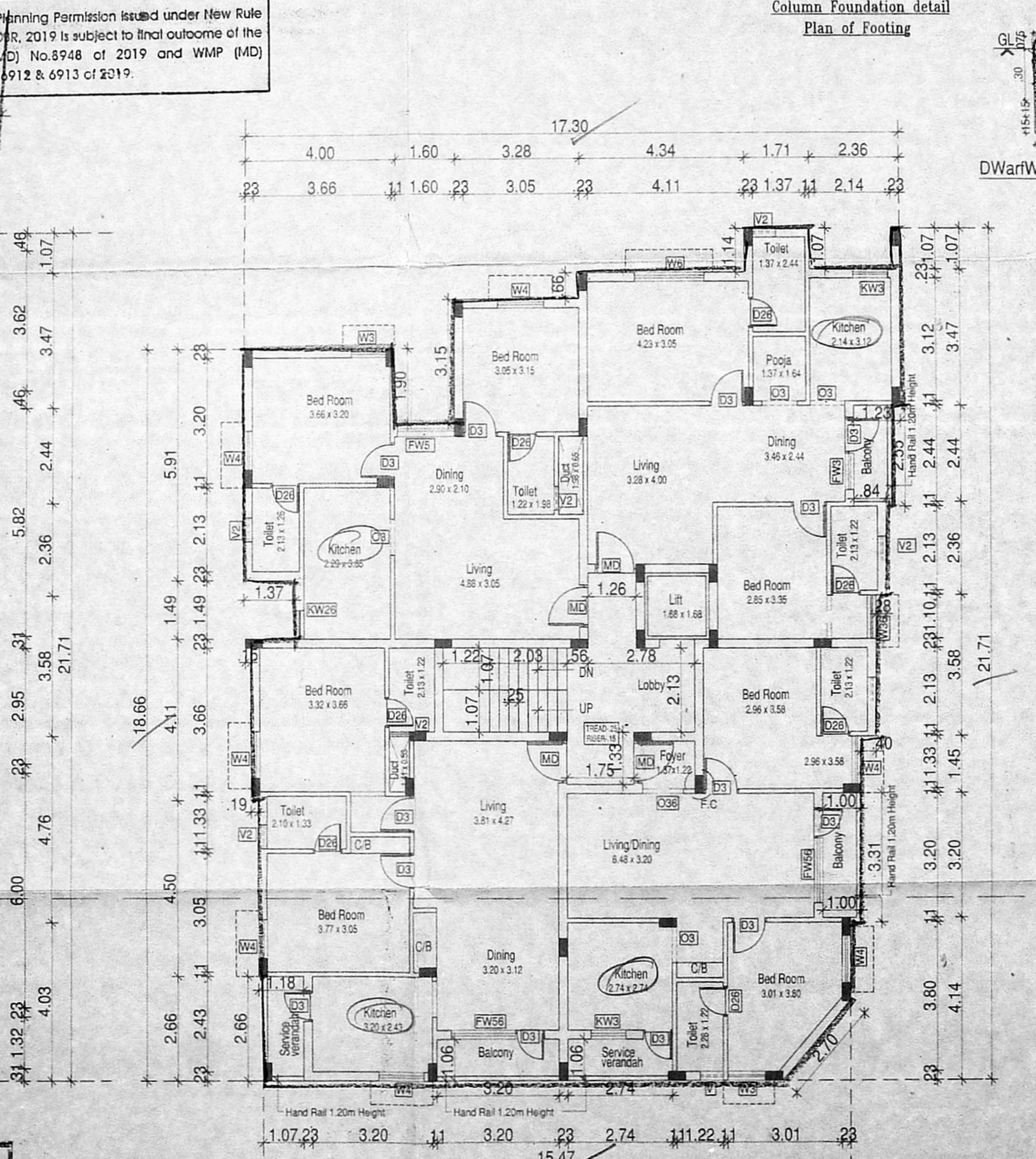
For the DEVELOPERS
 Partner
 OWNER'S SIGNATURE

H. SATHYAN ROOHI, B.Arch
 Regd. No. CA2015/57518
 Plot NO. 51, Krishnamuram Estn.,
 Manthoppu Nagar, 1st Street,
 Ambattur, Chennai-600 053.

ARCHITECT SIGNATURE

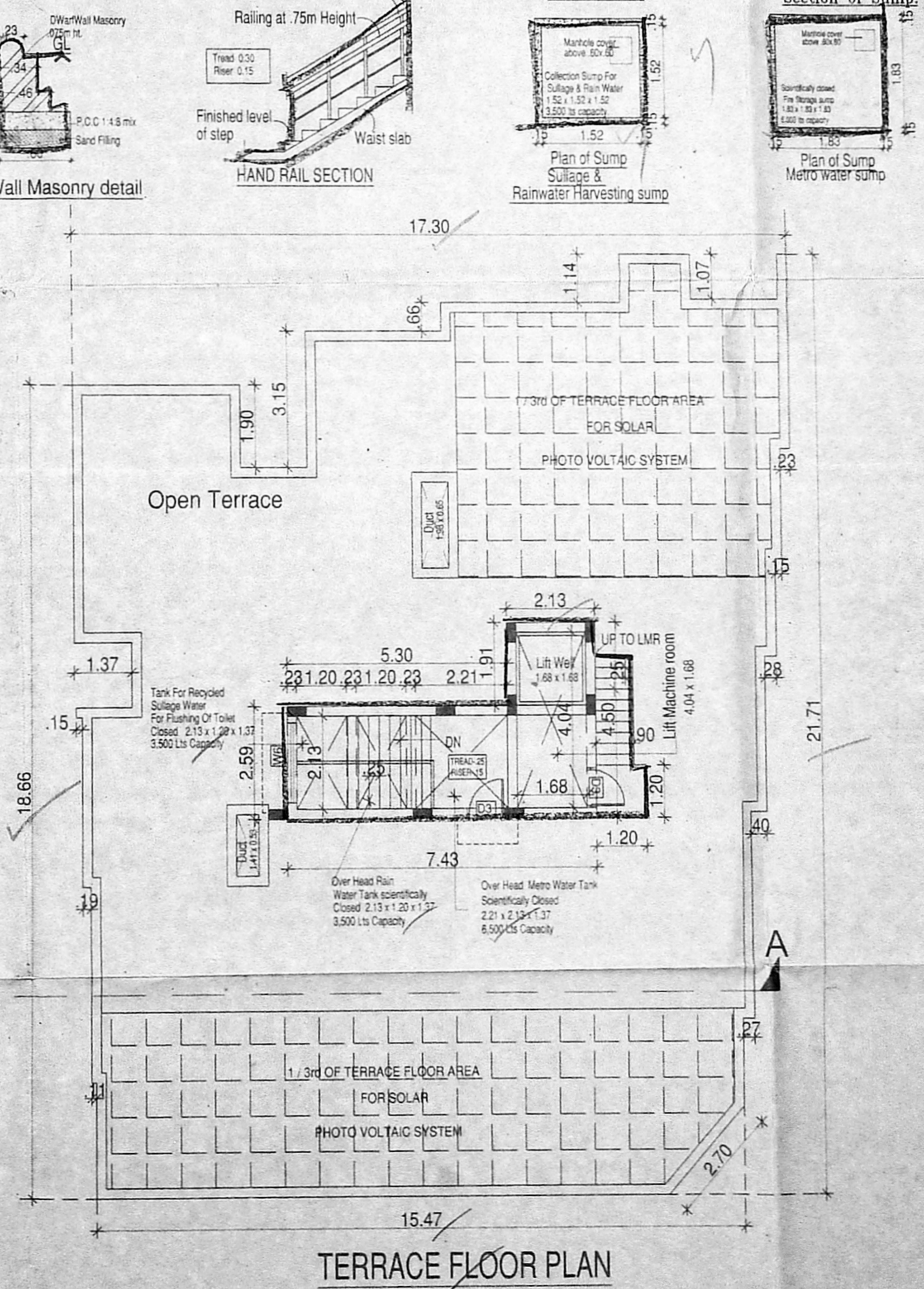


STILT CUM STILT FLOOR PLAN



TYPICAL FLOOR PLAN
 (1st, 2nd & 3rd Floors)

du (9) x 3
 12 day



TERRACE FLOOR PLAN